

Drain: CROOKED CREEK DRAIN **Drain #:** 250
Improvement/Arm: WESTON RIDGE - SECTION 2
Operator: JDH **Date:** 12-2-03
Drain Classification: Urban/Rural **Year Installed:** 1996

GIS Drain Input Checklist

- Pull Source Documents for Scanning JPA 12-2
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JPA 12-2
- Digitize & Attribute SSD JPA 12-3
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JPA 12-2
- Sum drain lengths & Validate JPA 12-3
- Enter Improvements into Posse JPA 12-3
- Enter Drain Age into Posse JPA 12-12
- Sum drain length for Watershed in Posse JPA 12-12
- Check Database entries for errors JPA 12-3

**Gasb 34 Footages for Historical Cost
Drain Length Log**

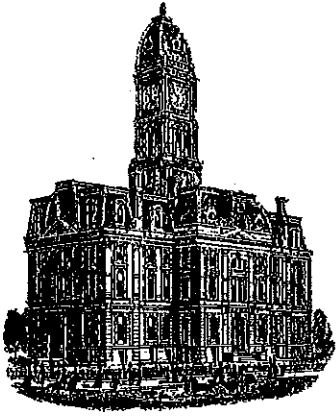
Drain-Improvement: CROOKED CREEK DRAIN - WESTON ROAD - SECTION 2

Drain Type:	Size:	Length (SURVEYING REPORTS)	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
SSD	6"	6,446.7'	6,446.7'	∅		
RCP	12"	309'	309'	∅		
	15"	529'	529'	∅		
	18"	709'	709'	∅		
	21"	888'	888'	∅		
	24"	770'	770'	∅		
	27"	1,597'	1,597'	∅		
	30"	117'	117'	∅		
	33"	398'	398'	∅		
	36"	44'	44'	∅		

Sum: 11,807.7' 11,807.7' ∅

Final Report: _____

Comments:



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

Map Correction-Field Verification

Drain Number: 250

Drain Length: 11,807.7

Drain Name: Weston Ridge Sec. 1

Change +/- : -246.7

Date: 9-23-2016

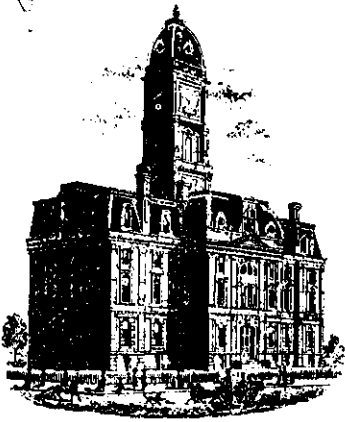
New Length: 11,561.00

Verified By: SLM

Notes & Sketch:

The 6"SSD was modified to match the 2015 Orthophotography. Thus, the footage should be adjusted to properly reflect what is there. The corrected length of 6"SSD should be 6200 feet.

Suzanne L. Mills
GIS Specialist



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

Date: July 5, 1996

To: Hamilton County Drainage Board

Re: Crooked Creek Drain, Weston Ridge Section 1 Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Weston Ridge Section 1 Arm, Crooked Creek Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	6275 ft	21" RCP	895 ft	33" RCP	399 ft
12" RCP	273 ft	24" RCP	785 ft	36" RCP	51 ft
15" RCP	537 ft	27" RCP	1712 ft		
18" RCP	741 ft	30" RCP	117 ft		

The total length of the drain will be 11, 785 feet.

The retention ponds (lakes) located in Common Areas #6 (Lake #2) and Common Area #7 (Lake #1) is not to be considered part of the regulated drain. Only the inlets and outlets will be maintained as part of the regulated drain. The maintenance of the ponds (lakes) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

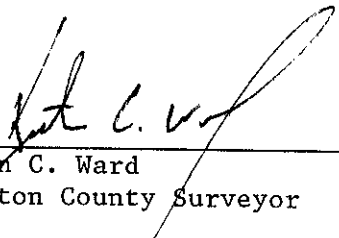
The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or in rear yards. Only the main SSD lines which are located within the easements/right of ways are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. ~~The portion of the SSD which will be regulated other than those under curbs are as follows:~~

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$30.00 per lot, \$5.00 per acre for roadways, with a \$30.00 minimum. With this assessment the total annual assessment for this drain this section will be \$ 1164.00.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Westan Ridge Section 1 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 23, 1996.



Kenton C. Ward
Hamilton County Surveyor

KCW/ndw

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

AUG 10 1995

HAMILTON COUNTY DRAINAGE BOARD

SECRETARY

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor, Courthouse, Noblesville, IN 46060

In the matter of Weston Ridge Subdivision,
Section One Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Park & Weston Place, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefitted thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 100% of the Engineers estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.

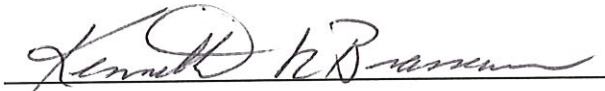
FILED

AUG 10 1995

HAMILTON COUNTY DRAINAGE BOARD
SECRETARY

3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain File.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain.


Signature

Kenneth R. Brasseur - Vice President
Printed Name

Signed

Printed Name

RECORDED OWNER (S) OF LAND INVOLVED

DATE _____

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor, Courthouse, Noblesville, IN 46060

In the matter of WESTON RIDGE Subdivision,
Section ONE Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in _____, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 100% of the Engineers estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.

3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain File.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain.

Signed Paul F. Rioux

PAUL F. RIOUX, EXEC. VICE PRESIDENT
Printed Name

Signed _____

K-E PROPERTIES, LLC
Printed Name

RECORDED OWNER(S) OF LAND INVOLVED

DATE 12/21/95



CONSULTING ENGINEERS
LAND SURVEYORS

R.M. Stoepelwerth, PE, PLS • David J. Stoepelwerth, PE, PLS • Curtis C. Huff, PLS • Dennis D. Olmstead, PLS • Jeffery W. Darling, PLS

December 14, 1995

Hamilton County Surveyor
1 Hamilton County Square
Suite 146
Noblesville, IN 46060-2230

Attention: Kent Ward

Re: Engineer's Estimate
Storm Sewer System & Monumentation
Weston Ridge

Dear Mr. Ward:

On behalf of the developers, Estridge Development Company, I wish to submit the following Engineer's Estimate of the storm sewer system & monumentation for Weston Ridge.

Storm sewer system including pipe, inlets, manhole end sections, subsurface drains, rip-rap, bedding and backfill.	\$216,525
Erosion Control	\$4,000
Monuments & Markers	<u>\$2,550</u>
	\$223,075

If you have any questions regarding this estimate, please contact Dennis D. Olmstead at 849-5935.

Very truly yours,

STOEPPELWERTH & ASSOCIATES, INC.

R.M. Stoepelwerth
R. M. Stoepelwerth, P.E., P.L.S.

cc: Steve Ranshaw, Estridge Development Co.

CCH95/19584D

FILED

DEC 21 1995

OFFICE OF HAMILTON COUNTY SURVEYOR

FINDINGS AND ORDER
CONCERNING THE MAINTENANCE OF THE
Crooked Creek Drain-Weston Ridge Section 1 Arm


On this 23rd day of September 1996, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the Crooked Creek Drain-Weston Ridge Section 1 Arm.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessments will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD




President



Member

Member

ATTEST: 
Administrative Secretary
Revised 12/95

COPY

INSURANCE COMPANY
MONTICELLO, NEW YORK
(A Stock Company)

SUBDIVISION BOND

1-22-96

Bond No.: 88289 Principal Amount: \$216,525.00

KNOW ALL MEN BY THESE PRESENTS, that we K. - E. PROPERTIES, LLC
1041 W. Main Street
Carmel, IN 46032 as Principal, and FRONTIER
INSURANCE CO. 195 Lake Louise Marie Road a New York Corporation,
Rock Hill, NY 12775-8000
as Surety, are held and firmly bound unto HAMILTON COUNTY BOARD OF
COMMISSIONERS 1 Hamilton County Square
Noblesville, IN 46060 in the penal sum of Two Hundred
Sixteen Thousand Five Hundred Twenty Five and 00/100 (Dollars)
(\$ 216,525.00), lawful money of the United States of America,
for the payment of which well and truly to be made, we bind
ourselves, our heirs, executors, administrators, successors and
assigns, jointly and severally, firmly by these presents.

WHEREAS, K. - E. PROPERTIES, LLC
has agreed to construct in WESTON RIDGE Subdivision,
in HAMILTON COUNTY the following

improvements:
Storm Sewer, Subsurfact Drains and Laterals

SCHEER'S INCORPORATED

5650 S. BRAINARD, LA GRANGE, ILLINOIS 60525 708/352-6282

MONTICELLO, NEW YORK
(A Stock Company)

SUBDIVISION BOND

Bond No.: 88290

Principal Amount: \$4,000.00

KNOW ALL MEN BY THESE PRESENTS, that we K. - E. PROPERTIES, LLC
1041 W. Main Street
Carmel, IN 46032 as Principal, and FRONTIER
INSURANCE CO. 195 Lake Louise Marie Road a New York Corporation,
Rock Hill, NY 12775-8000
as Surety, are held and firmly bound unto HAMILTON COUNTY BOARD OF
1 Hamilton County Square
COMMISSIONERS Noblesville, IN 46060 in the penal sum of _____
Four Thousand and 00/100 (Dollars)
(\$ 4,000.00), lawful money of the United States of America,
for the payment of which well and truly to be made, we bind
ourselves, our heirs, executors, administrators, successors and
assigns, jointly and severally, firmly by these presents.

WHEREAS, K. - E. PROPERTIES, LLC
has agreed to construct in WESTON RIDGE Subdivision,
in HAMILTON COUNTY the following

improvements:

Erosion Control

CERTIFICATE OF COMPLETION AND COMPLIANCE

Address of premises on which
land alteration was accomplished 106th Street & Shelbourne Road

Inspection Date(s): _____ Permit No. _____

Relative to plans prepared by: Stoepfelwerth and Associates, Inc.

on May 22, 1996

I hereby certify that:

To the best of my knowledge, information and belief such land
alteration has been performed and completed in conformity with the improved
plan, except Pipe between STR. 882 and 883 is constructed at a
negative slope.

Signature *D.J. Stoepfelwerth* Date: 12/16/96

Typed Name: David J. Stoepfelwerth Phone: (317 849-5935)

Business Address 9940 Allisonville Rd., P.O. Box 509007
Indianapolis, In. 46250

Surv. Engr. _____ Arch. _____ Indiana Registration No. _____, R.L.S.
S0474

(SEAL)

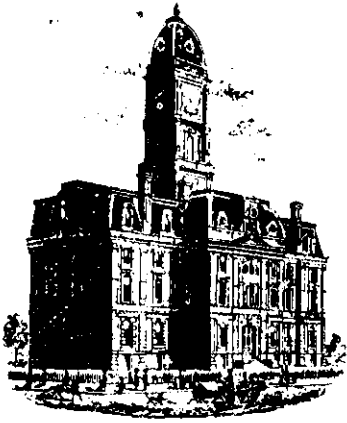


10265COM/IWP/FORM

FILED

DEC 18 1996

OFFICE OF HAMILTON COUNTY SURVEYOR



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

September 4, 1997

Re: Crooked Creek Drain - Weston Ridge Sec. 1

Attached are as-builts, certificate of completion & compliance, and other information for Weston Ridge Sec. 1. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated July 5, 1996. The changes are as follows:

- Str.921-920 12"RCP shortened from 78' feet to 76' feet.
- Str.922-923 24"RCP shortened from 213' feet to 202' feet.
- Str.924-925 18"RCP shortened from 163' feet to 162' feet.
- Str.925-926 15"RCP shortened from 68' feet to 57' feet.
- Str.916-917 18"RCP shortened from 70' feet to 61' feet.
- Str.917-918 18"RCP shortened from 76' feet to 70' feet.
- Str.918-919 12"RCP shortened from 83' feet to 77' feet.
- Str.915-914 27"RCP shortened from 223' feet to 213' feet.
- Str.911-910 18"RCP shortened from 57' feet to 55' feet.
- Str.894-895 36"RCP shortened from 51' feet to 44' feet.
- Str.905-927 27"RCP shortened from 105' feet to 104' feet. This was originally reported as 185' feet.
- Str.927-906 27"RCP shortened from 335' feet to 331' feet.
- Str.908-909 12"RCP shortened from 32' feet to 30' feet.
- Str.901-902 15"RCP shortened from 42' feet to 41' feet.
- Str.884-885 27"RCP shortened from 179' feet to 176' feet.
- Str.888-889 21"RCP shortened from 35' feet to 33' feet.
- Str.879-878 27"RCP shortened from 253' feet to 248' feet.
- Str.878-878A 27"RCP shortened from 529' feet to 525' feet.
- Str.883-882 15"RCP shortened from 35' feet to 32' feet.
- Str.882-881 15"RCP lengthened from 163' feet to 164' feet.
- Str.881-880 18"RCP shortened from 255' feet to 253' feet.

The corrected total of 6" SSD is 6,446 feet.

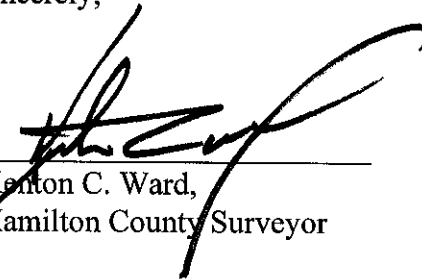
The length of the drain due to the changes described above is now ^{11,802.7} ~~11,831~~ feet.

The non-enforcement was approved by the Board at its meeting on September 23, 1996 and recorded under instrument #9609644122.

The bond or letter of credit from Frontier Insurance Co., number 88289 for storm sewer and subsurface drainage and 88290 for erosion control; dated January 22, 1996; in the amount of \$216,525.00 and \$4,000.00; has been recommended for release in a letter to the Commissioners dated August 25, 1997.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

**ESTRIDGE
DEVELOPMENT
COMPANY**

Professional Developers

1041 West Main Street
Carmel, Indiana 46032
Work (317) 582-2456 ext. 351
FAX 582-2452

Mobile (317) 697-8309
Dig. Pager (317) 726-8277

Steve Ranshaw
Project Manager

Asbuilt Structures

Project: Crooked Creek DRAIN - Weston Ridge Sec. 1

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

921	904.55	902.70				
920	-	899.85	12"	72'	FRM 78'	X
922	-	899.92				
923	903.91	900.51	24"	202'	FRM 213'	
923	903.91	900.51				
924	903.89	900.60	21"	30'		
924	903.89	900.60				
925	903.29	901.35	18"	162'	FRM 163'	/
925	903.29	901.35				
926	-	901.60	15"	57'	FRM 68'	
916	-	899.82				
917	903.86	900.12	18"	61'	FRM 70'	/
917	903.86	900.12				
918	903.72	900.34	18"	74'	FRM 76'	/
918	903.72	900.34				
919	-	900.67	12"	77'	FRM 83'	/
915	-	899.87				
914	-	899.80	27"	213'	FRM 223	-10 ✓

6" SSD Streets:

Total: _____

RCP Pipe Totals:

6" SSD Lots:

Total: _____

Other Drain:

Total Length of Drain: _____

Asbuilt Structures

Project: Crooked Creek Drain - Western Ridge Sec. 1

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

913	903.83	900.59				
912	903.87	900.39	12"	40'		*
912	903.87	900.39				
911	904.27	900.18	15"	52'		
911	904.27	900.18				
910	—	899.92	18"	55'	FRM 57'	/
894	—	899.88				
895	905.64	900.02	36"	44'	FRM 51'	
895	905.64	900.02				
904	904.58	900.50	33"	198'		
904	904.58	900.50				
905	906.15	900.89	33"	200'		
905	906.15	900.89				
927	904.64	901.30	27"	104'	FRM 105'	? incorrectly Reported @ 185'
927	904.64	901.30				
906	905.46	901.98	27"	331'	FRM 335'	-4 ✓
906	905.46	901.98				
907	905.70	902.50	21"	320'		

6" SSD Streets:

Total: _____

RCP Pipe Totals:

6" SSD Lots:

Total: _____

Other Drain:

Total Length of Drain: _____

Asbuilt Structures

Project: Crooked Creek Drain - Western Ridge Sec 1

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

907	905.70	902.50				
908	904.87	902.87	15"	73'		
908	904.87	902.87				
909	—	903.97	12"	30'	FRM 32'	✓
896	904.28	900.65				
901	904.48	900.82	15"	30'		
901	904.48	900.82				
902	904.34	901.07	15"	41'	FRM 42'	
902	904.34	901.07				
903	904.40	901.15	12"	30'		✓
895	905.64	899.99				
896	904.28	900.65	21"	133'		
896	904.28	900.65				
897	904.47	900.72	18"	44'		✓
897	904.47	900.72				
898	904.46	900.78	18"	30'		✓
898	904.46	900.78				
899	904.35	900.86	15"	44'		✓

6" SSD Streets:

Total: _____

RCP Pipe Totals:

6" SSD Lots:

Total: _____

Other Drain:

Total Length of Drain: _____

Asbuilt Structures

Project: Crooked Creek Drain - Western Ridge Sec. 1

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

899	904.35	900.86				
900	904.41	901.05	12"	30'		✓
884	—	899.89				
885	904.33	900.24	27"	174'	From 179'	✓ -3
885	904.33	900.24				
886	903.98	900.42	24"	74'		
886	903.98	900.42				
887	904.16	900.88	24"	140'		
887	904.16	900.88				
888	904.27	901.27	24"	334'		
888	904.27	901.27				
889	904.10	901.37	21"	33'	From 35'	
889	904.10	901.37				
890	906.06	902.60	21"	168'		
890	906.06	902.60				
891	906.16	902.77	18"	30'		
891	906.16	902.77				
892	905.64	902.92	15"	36'		

6" SSD Streets:

Total: _____

RCP Pipe Totals:

6" SSD Lots:

Total: _____

Other Drain:

Total Length of Drain: _____

Asbuilt Structures

Project: Crooked Creek Drain - Weston Ridge Sec. 1

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

892	905.64	902.92				
893	905.75	903.07	12"	30'		
880	902.41	899.00				
879	901.98	898.58	21"	204'		
879	901.98	898.58				
878	904.83	898.08	27"	248'	FRM 253'	✓ -5
878	904.83	898.08				
878A	905.50	897.07	27"	525'	FRM 529'	✓ -4
878A	905.50	897.07				
853	904.16	896.71	30"	117'		
883	-	899.74				
882	902.29	899.77	15"	32'	FRM 35'	
882	902.29	899.77				
881	902.30	899.50	15"	164'	FRM 163'	
881	902.30	899.50				
880	902.43	899.00	18"	253'	FRM 255'	✓
2 - Stubbs			18"	8' x 2 = 16'		
1 - Stub			27"	8'		

6" SSD Streets:

Weston DR	1804.35
Valley Forge Cir	185.0
Pickens Ct.	458.44
Yorktown King	140.71
Patriot Ct.	554.85

Total: 3223.35 x 2 = 6446.7

6" SSD Lots:

Total: _____

RCP Pipe Totals:

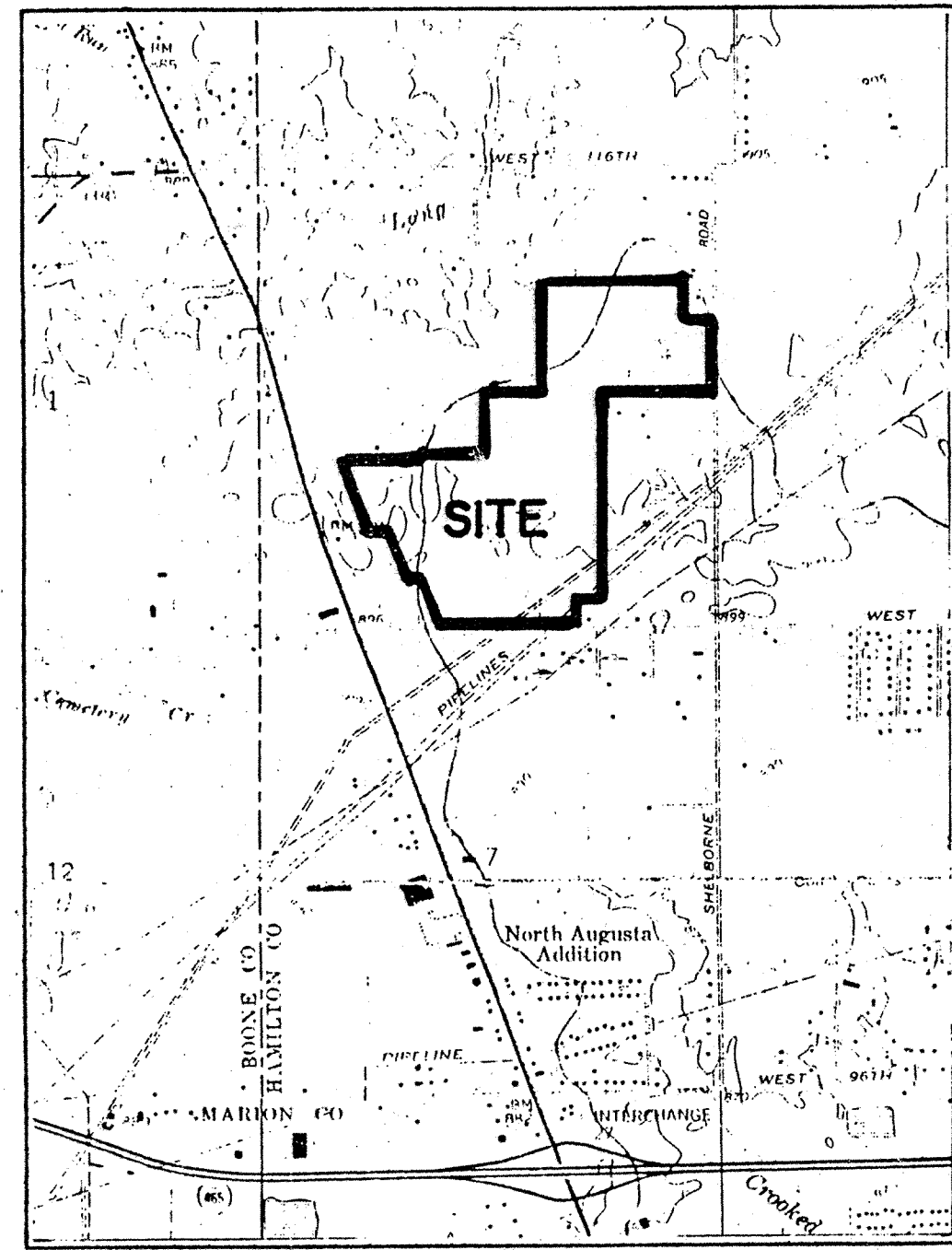
12"	309'
15"	529'
18"	725'
21"	888'
24"	770'
27"	7597'
30"	117'
33"	398'
36"	44'

709'
1605' 1597'

Other Drain:

Total Length of Drain:

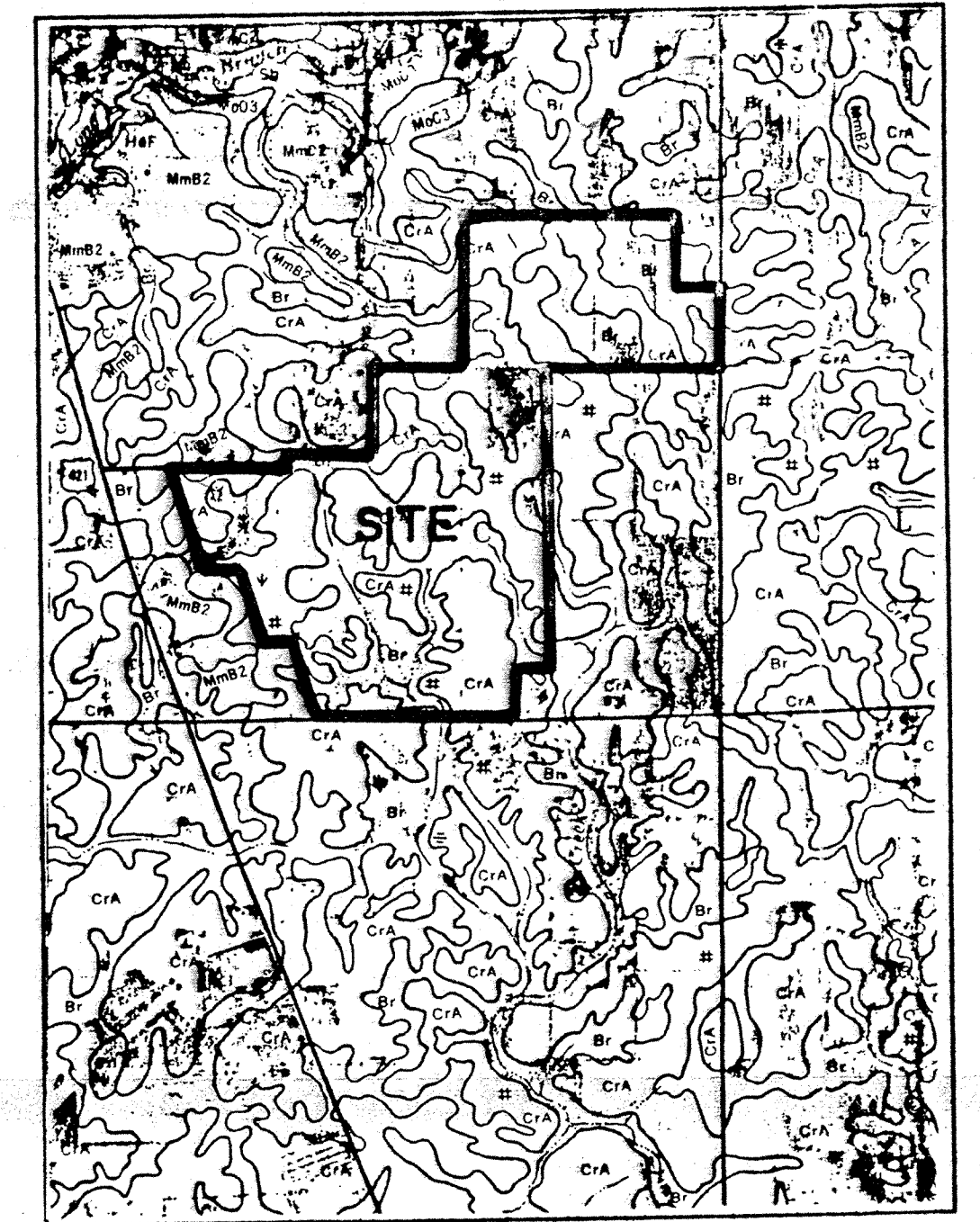
11,825.31
11,807.7



LOCATION MAP

WESTON RIDGE SECTION 1

Developed by:
 ESTRIDGE DEVELOPMENT COMPANY, INC.
 1041 WEST MAIN STREET
 CARMEL, INDIANA 46032
 (317)-582-2437



SOILS MAP

MmB2 MIAMI
 Br BROOKSTON
 CrA CROSBY

N.O.I. LETTER OPERATOR:
 KEN BRASSEUR
 ESTRIDGE DEVELOPMENT COMPANY, INC.
 1041 WEST MAIN STREET
 PHONE: (317)-582-2437

DESIGN DATA

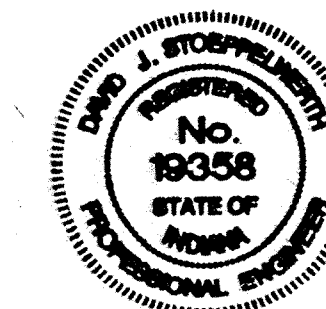
34 LOTS = 1.37 LOTS/ACRE±
 24,759 AC.±

WESTON DRIVE 1884.35 L.F.
 PATRIOT COURT 562.92 L.F.
 PICKENS COURT 446.44 L.F.
 VALLEY FORGE CIRCLE 165.00 L.F.
 YORKTOWN CROSSING 140.71 L.F.

PLANS PREPARED BY:
 STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 9940 ALLISONVILLE ROAD
 P.O. BOX 509007
 INDIANAPOLIS, INDIANA 46250
 PHONE: (317)-849-5935
 FAX: (317)-849-5942

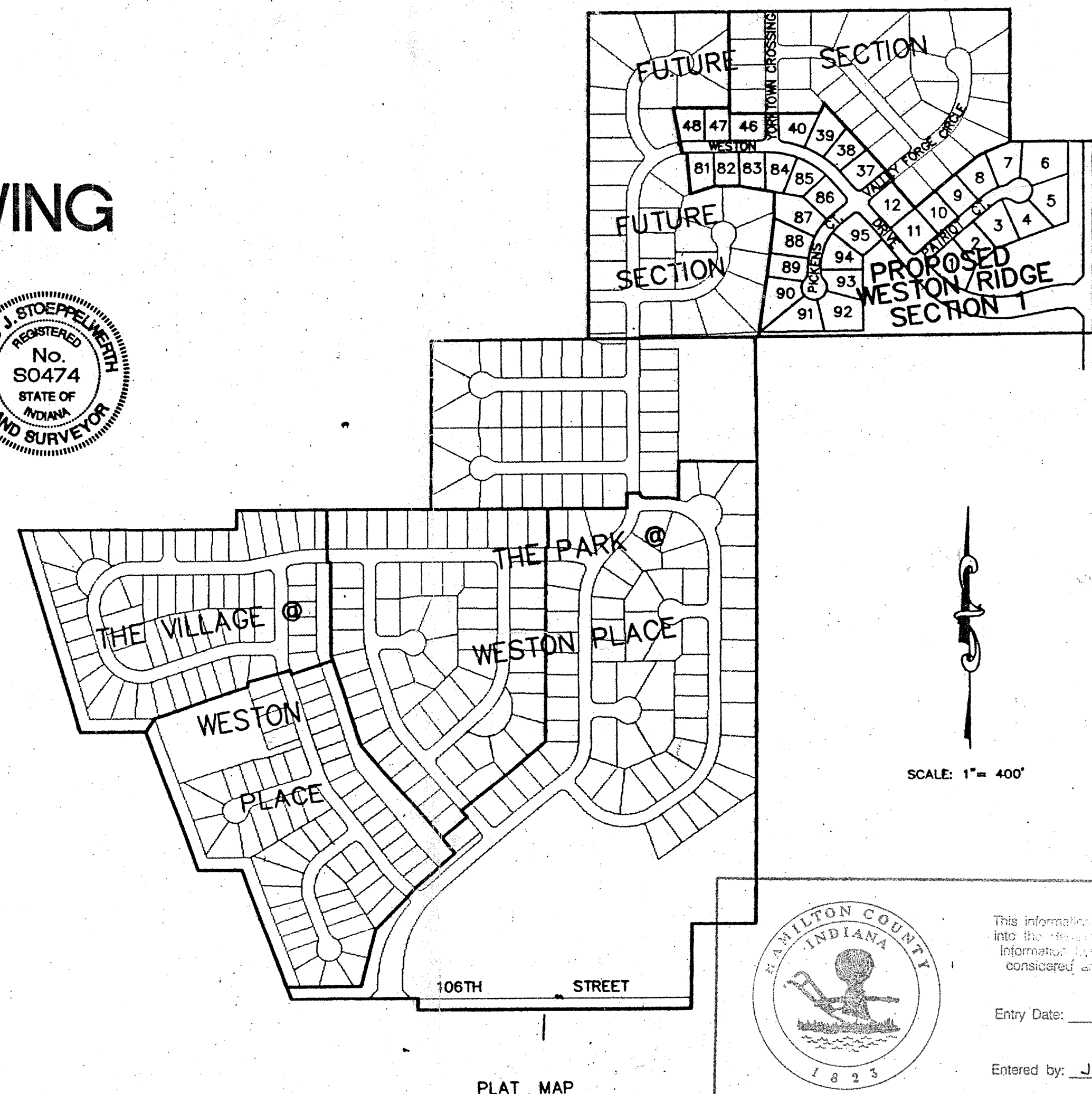
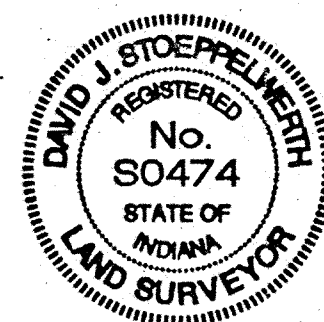
PLANS CERTIFIED BY:

David J. Stoepfelwerth 5/22/95
 DAVID J. STOEPPELWERTH DATE
 PROFESSIONAL ENGINEER
 No. 19358



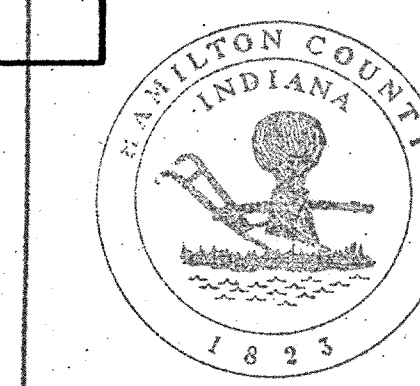
RECORD DRAWING

David J. Stoepfelwerth 12/16/96
 DAVID J. STOEPPELWERTH DATE
 Registered Land Surveyor
 No. S0474



PLAT MAP

SCALE: 1" = 400'



This information was prepared by
 into the public record and is
 Information System and is
 considered an official record.

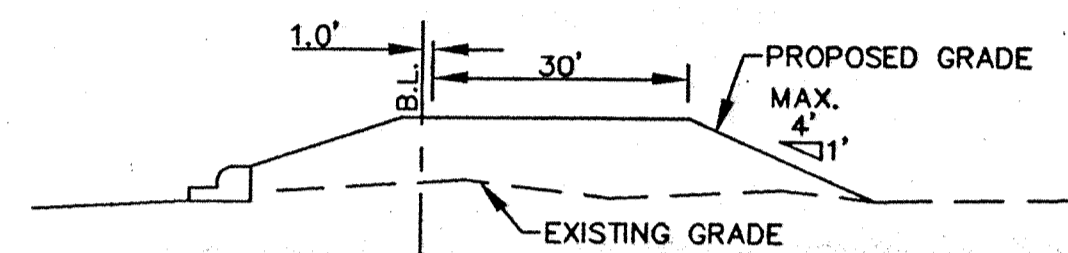
Entry Date: 12-2-93

Entered by: JDH

INDEX	
SHT.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
3A	OFFSITE GRADING PLAN
3B	WATERMAIN ROUTE GRADE PLAN
4	EROSION CONTROL PLAN
5	EROSION CONTROL PLAN
5A	OFFSITE EROSION CONTROL PLAN
6	STREET PLAN & PROFILE
7	STREET PLAN & PROFILE
8	STREET PLAN & PROFILE
9	INTERSECTION DETAILS
10	INTERSECTION DETAILS
11	INTERSECTION DETAILS
12	SANITARY SEWER PLAN & PROFILES
13	SANITARY SEWER PLAN & PROFILES
14	SANITARY SEWER PLAN & PROFILES
15	STORM SEWER PLAN & PROFILES
16	STORM SEWER PLAN & PROFILES
17	STORM SEWER PLAN & PROFILES
18	STORM SEWER PLAN & PROFILES
19	CONSTRUCTION DETAILS
20	CONSTRUCTION DETAILS
21	CONSTRUCTION DETAILS

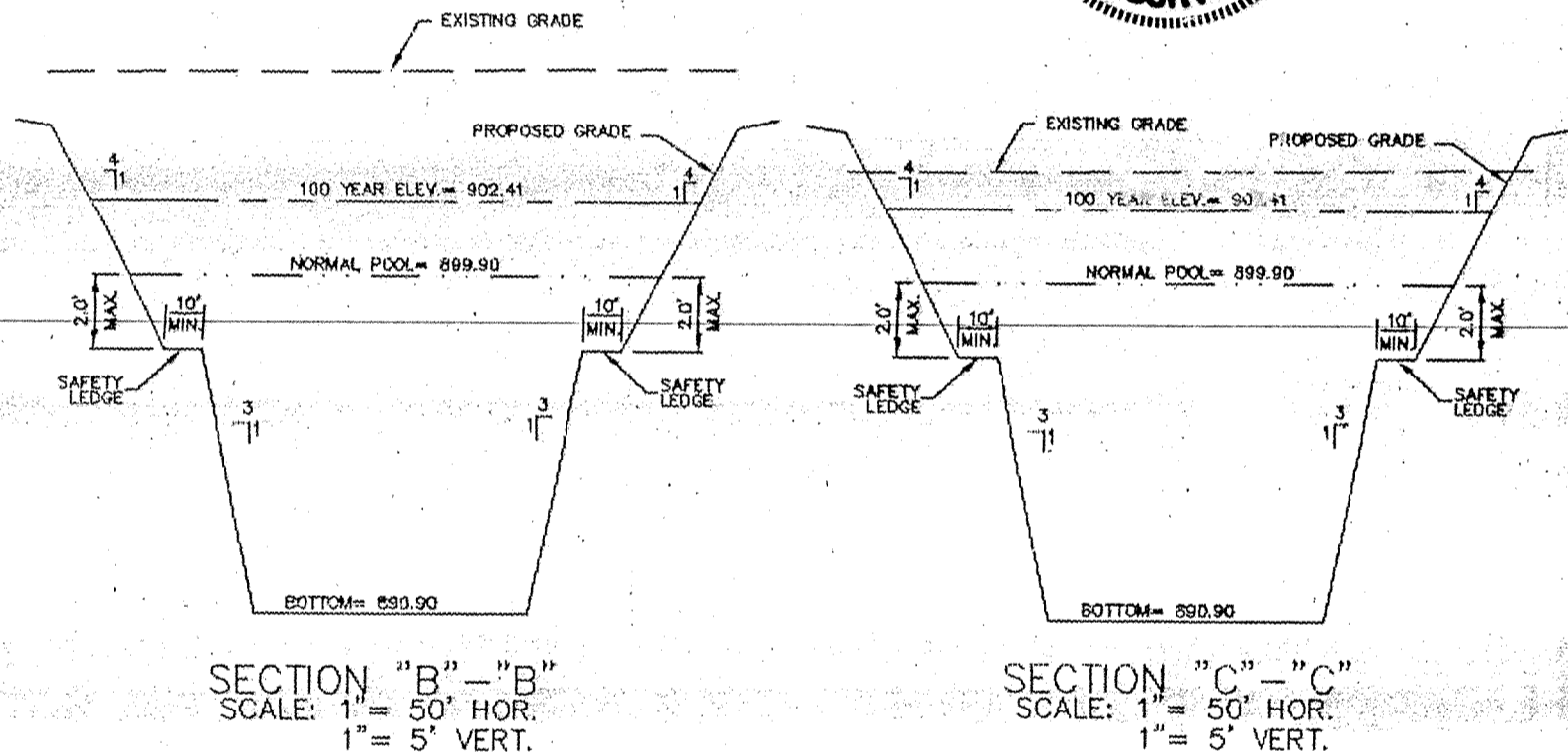
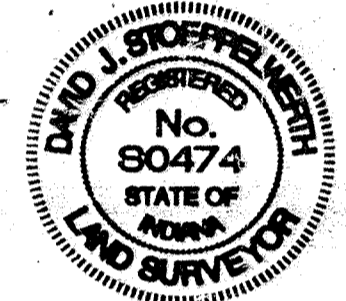
REVISIONS	
SHT.	DESCRIPTION
ALL	REV. PER TAC COMMENTS 6/27/95 LMC
ALL	REV. PER SURVEYOR COMM 7/27/95 LMC
2,16,17	REV. STORM INV. 4/2/96 TLT

- LEGEND**
- 848 — EXISTING CONTOUR
 - 848 — EXISTING SANITARY SEWER
 - 848 — EXISTING STORM SEWER
 - 848 — PROPOSED GRADE
 - 848 — PROPOSED CONTOUR
 - 848 — PROPOSED SANITARY SEWER
 - 848 — PROPOSED STORM SEWER
 - 848 — PROPOSED SWALE
 - 848 — PROPOSED 4' SIDEWALK (BY HOME BUILDER) (UNLESS OTHERWISE NOTED) LOT NUMBER
 - 35
ADD 5' OVERBUILD TO FRONT & SIDES OF PAD SHOWN
 - 70
853.0* PAD ELEVATION DENOTES 2'-0" OF FILL OR MORE
 - 848 — PROPOSED 6" UNDERDRAINS
 - 4" S.S.D. TO LOT



RECORD DRAWING

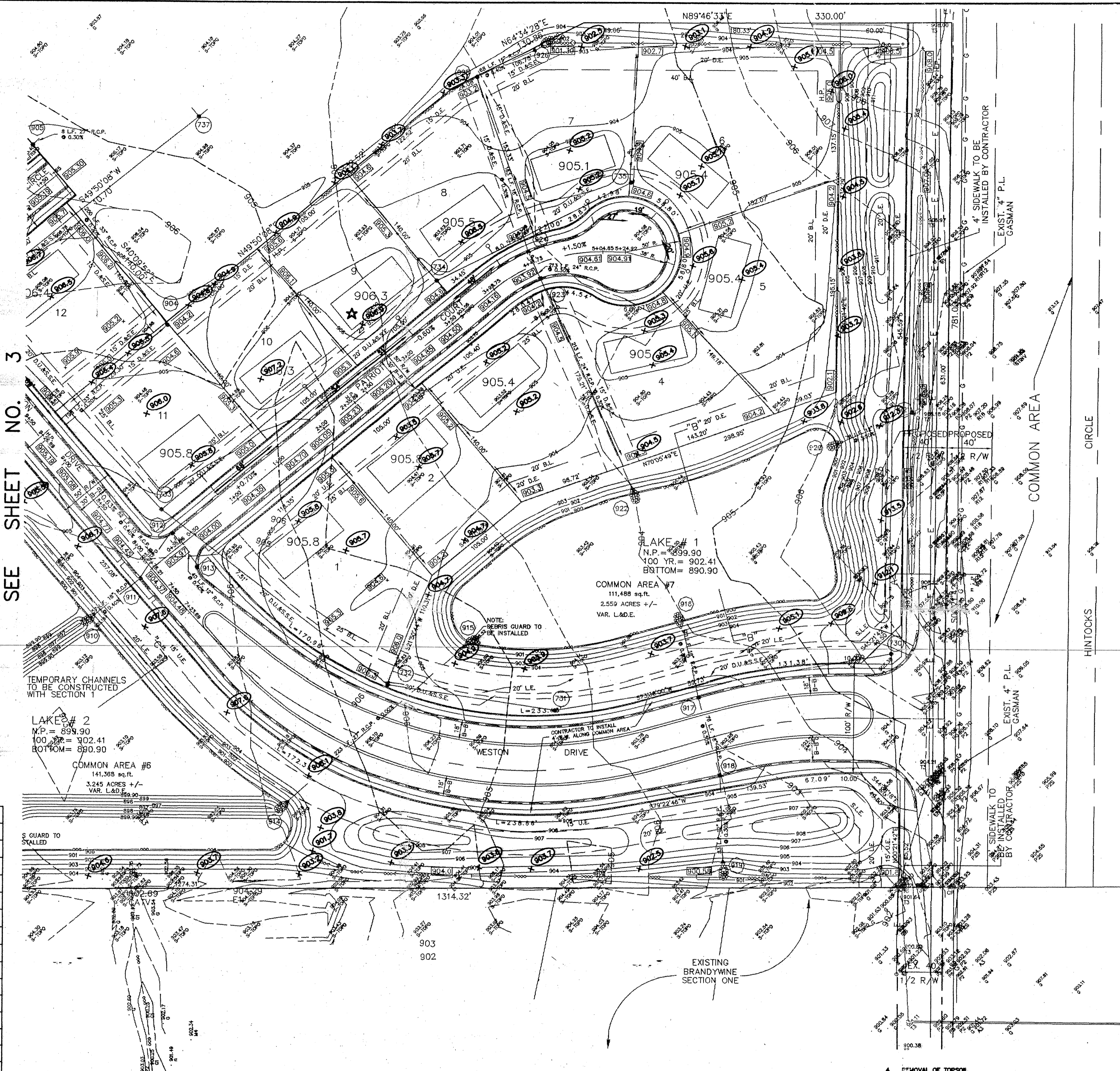
David J. Stoeppelwerth 12/16/96
 DAVID J. STOEPPELWERTH DATE
 Registered Land Surveyor
 No. S0474



STORM TABLE

Str. No.	Type	Tu/In	Inverts	Dr.
878	Manhole	904.70	898.07	(S)(W)
879A	Manhole	905.30	897.01	(S)(W)
879	Yard Inlet	902.50	898.58	(S)(W)
880	Yard Inlet	903.00	898.99	(S)(W)
881	Yard Inlet	903.00	899.50	(S)(W)
882	Yard Inlet	903.00	899.83	(S)(W)
883	Concrete End Section	-	899.90	(W)
884	Concrete End Section	-	899.90	(W)
885	Curb Inlet w/Manhole	904.32	900.25	(S)(W)
886	Curb Inlet w/Manhole	904.32	900.40	(S)(W)
887	Yard Inlet	904.10	900.72	(S)(W)
888	Yard Inlet	904.70	901.40	(S)(W)
889	Yard Inlet	904.90	901.47	(S)(W)
890	Curb Inlet	906.10	902.78	(S)(W)
891	Curb Inlet	906.10	902.85	(S)(W)
892	Curb Inlet	905.85	902.98	(S)(W)
893	Curb Inlet	905.80	903.05	(W)
894	Concrete End Section	-	899.90	(W)
895	Manhole	905.80	900.05	(S)(W)
896	Curb Inlet	904.40	900.45	(S)(W)
897	Curb Inlet	904.40	900.58	(S)(W)
898	Curb Inlet	904.40	900.67	(S)(W)
899	Curb Inlet	904.40	900.80	(S)(W)
900	Curb Inlet	904.40	900.88	(S)
901	Curb Inlet	904.40	900.54	(S)(W)

902	Curb Inlet	904.40	900.67	(S)(W)
903	Curb Inlet	904.40	900.78	(S)
904	Yard Inlet	904.20	900.44	(W)(S)
905	Manhole	905.90	900.84	(W)(S)(W)
906	Yard Inlet	905.30	901.72	(S)(W)(S)
907	Yard Inlet	906.00	902.38	(S)(S)(W)(W)
908	Yard Inlet	906.30	903.75	(S)(W)
909	Concrete End Section	-	903.91	(S)
910	Concrete End Section	-	899.90	(W)
911	Curb Inlet	904.27	900.13	(S)(S)
912	Curb Inlet	903.87	900.34	(S)(S)
913	Curb Inlet	903.83	900.30	(W)
914	Concrete End Section	-	899.90	(S)
915	Concrete End Section	-	899.90	(S)
916	Concrete End Section	-	899.90	(S)
917	Curb Inlet	903.87	900.10	(S)(S)
918	Curb Inlet	903.74	900.33	(S)(S)
919	Concrete End Section	-	900.58	(W)
920	Concrete End Section	-	899.90	(S)
921	Yard Inlet	903.00	902.63	(W)
922	Concrete End Section	-	899.90	(W)
923	Curb Inlet	903.82	900.54	(S)(W)
924	Curb Inlet	903.82	900.63	(S)(S)
925	Yard Inlet	903.20	901.12	(S)(W)
926	Concrete End Section	-	901.38	(W)
927	Yard Inlet	904.40	901.05	(S)(S)



BENCHMARKS:
 U.S.G.S. S-78
 STANDARD TABLET SET IN CONCRETE APPROX.
 1000' N. OF 106TH ST. @ EAST R/W LINE
 OF U.S. #421. ELEV.=900.77

S. & A. #3
 P.K. NAIL IN NORTH FACE OF P.W.P. #12-128 A
 12" UP, POLE IS 33' WEST OF PANHANDLE
 EASTERN RED & WHITE GAS LINE MARKER
 ELEV.=895.04

- EARTHWORK:**
- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps from area to be occupied by a road surface area. Trees and stumps shall not be buried or milled.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measures to be taken, if any, to preserve such trees.

- REMOVAL OF TOPSOIL**
 - Removal of topsoil from all area to be excavated or filled. Topsoil shall be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
- UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
- SITE GRADING**
 - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.10 feet above established subgrade. All other areas shall not exceed 0.10 feet plus or minus the established grade. Provide roundings at top and bottom of berms and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerances as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerances.



CERTIFIED: 5/22/95
 David J. Stoeppelwerth
 CONSULTING ENGINEERS - LAND SURVEYORS
 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942
 INDIANAPOLIS INDIANA

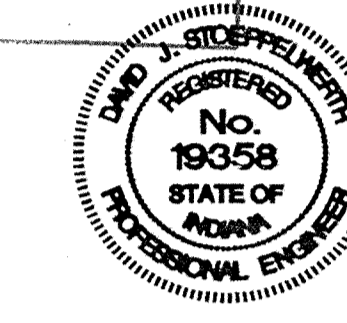
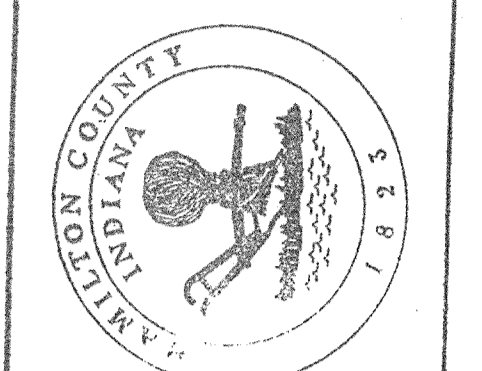


SITE DEVELOPMENT PLAN
WESTON RIDGE SECTION 1
 CARMEL INDIANA

A TEMPORARY TURNAROUND SHALL BE REQUIRED AT THIS LOCATION IF PLANS FOR THE EXTENSION OF THIS STREET ARE NOT SUBMITTED OR IN PROCESS BY THE TIME THE STREET IN SECTION 1 ARE TURNED OVER TO THE COUNTY. THE PAVEMENT FOR THE TEMPORARY TURNAROUND SHALL CONSIST OF:
 1" #11 H.A.C. BINDER
 3" #8 OR #9 H.A.C. BINDER
 5" #53 COMPACTED STONE BASE

$\Delta = 05^{\circ}12'43"$
 $R = 200.00'$
 $T = 9.10'$
 $L = 18.19'$

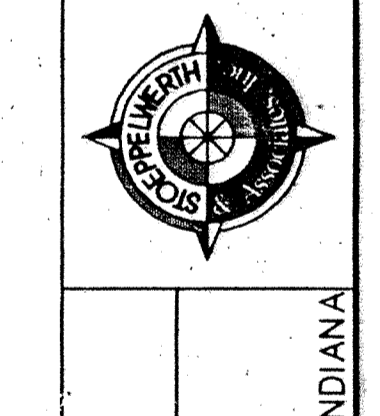
This information was gathered for input into the Information System. The Information System is not considered an official record of the GIS.
 Entry Date: 12-2-07
 Entered by: JDH



REV.	DATE	BY	REVISIONS
1	12/2/07	JDH	REV. PER TAC COMMENTS
2	12/2/07	JDH	REV. PER SURVEYOR COMMENTS
3	7/25/08	WAB	REV. PER SURVEYOR COMMENTS
4	7/25/08	WAB	REV. PER SURVEYOR COMMENTS
5	7/25/08	WAB	REV. PER TAC COMMENTS
6	7/25/08	WAB	REV. PER TAC COMMENTS

CERTIFIED: *David J. Stoepfelwerth*
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

CONSULTING ENGINEERS - LAND SURVEYORS
 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942
 INDIANAPOLIS INDIANA



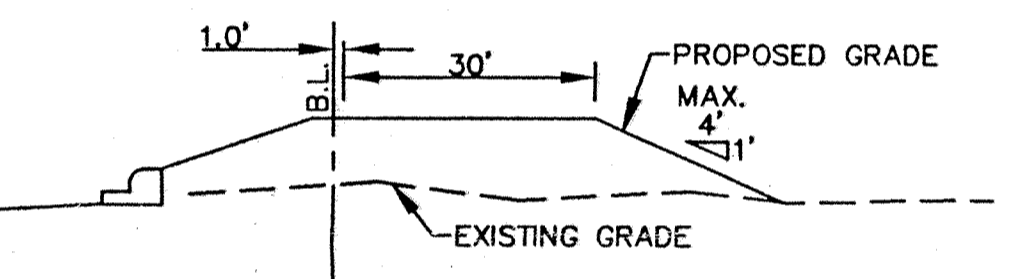
SITE DEVELOPMENT PLAN
 WESTON RIDGE SECTION 1
 CARMEL INDIANA

SHEET NO. 3
 OF 21 SHEETS
 478 HG 19584D

SCALE: 1" = 50'

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR BY EXCAVATING CONTRACTOR
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED GRADE
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED SWALE
 - PROPOSED 4' SIDEWALK (BY HOME BUILDER) (UNLESS OTHERWISE NOTED)

35 LOT NUMBER
 ADD 5' OVERBUILD TO FRONT & SIDES OF PAD SHOWN
 70' PAD ELEVATION
 853.0



TYPICAL LOT GRADING DETAIL
 NO SCALE

PROPOSED 6" UNDERDRAINS
 4" S.S.D. TO LOT

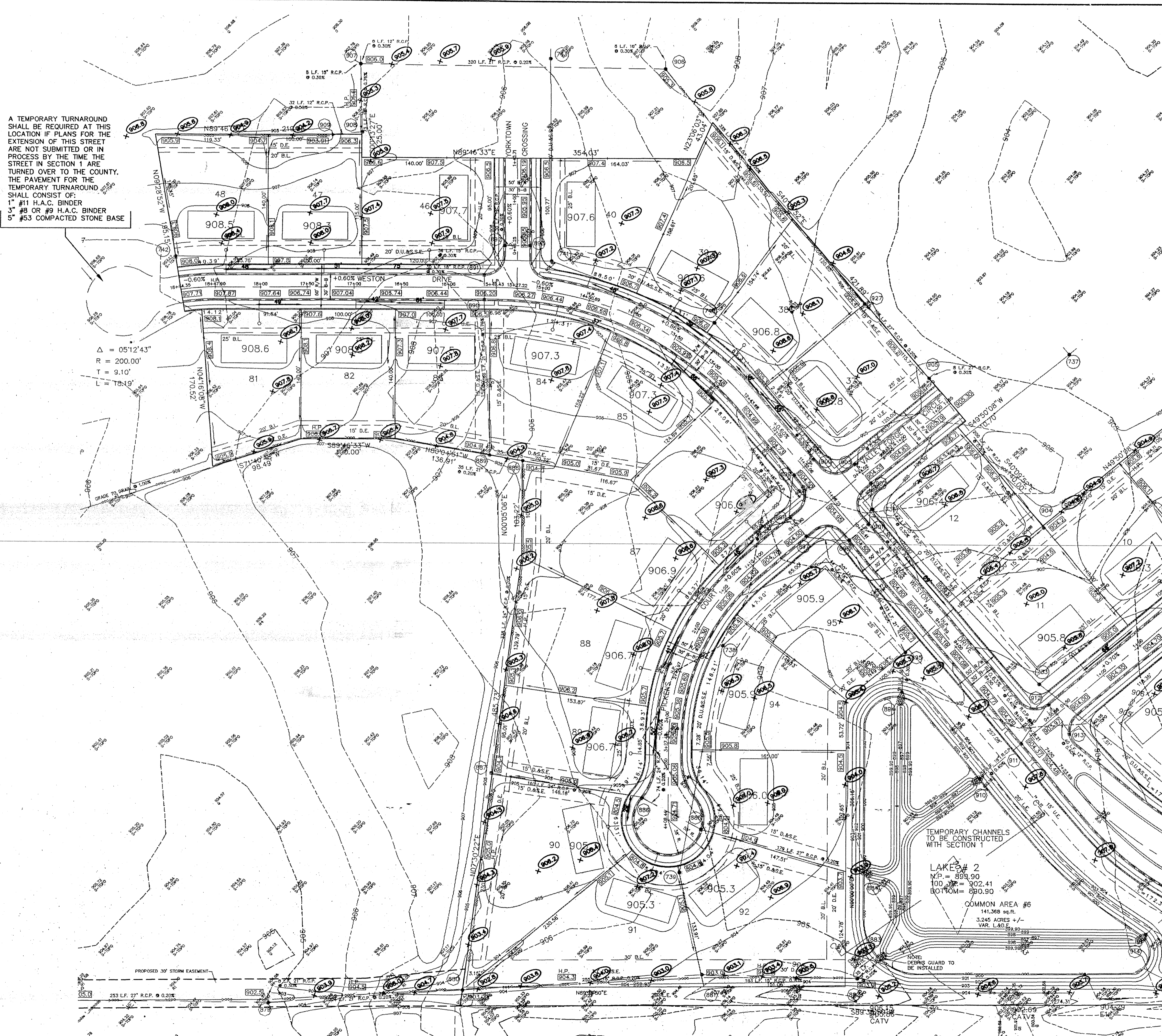
SEE SHEET NO. 2

RECORD DRAWING

David J. Stoepfelwerth 12/16/96 DATE
 DAVID J. STOEPELWERTH
 Registered Land Surveyor
 No. S0474



- EARTHWORK:**
- EXCAVATION
 - A. Excavated material that is suitable may be used for fill. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - B. Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fill herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
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 - PROTECTION OF TREES
 - A. The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - B. In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect of protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL
 - A. Removal of topsoil from all area to be excavated or filled. Topsoil shall be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES
 - A. Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - B. It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5444 within Indiana or 1-800-428-5200 outside Indiana.
 - SITE GRADING
 - A. Do all cutting, filling, compacting of fill and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - B. The tolerance for paved areas shall not exceed 0.10 feet above established subgrade. All other areas shall not exceed 0.10 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - C. The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.
- FORM EARTHWORK

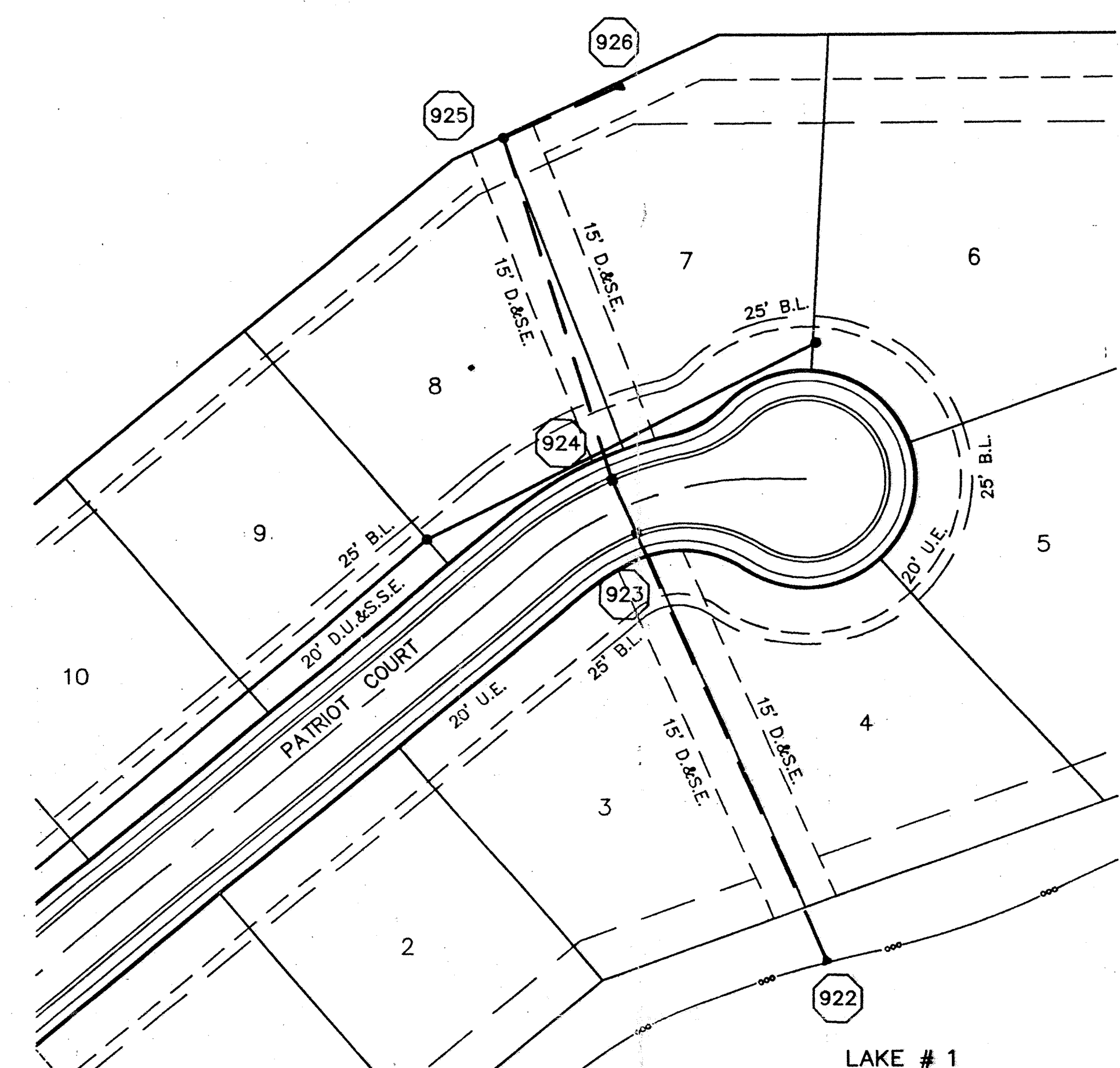
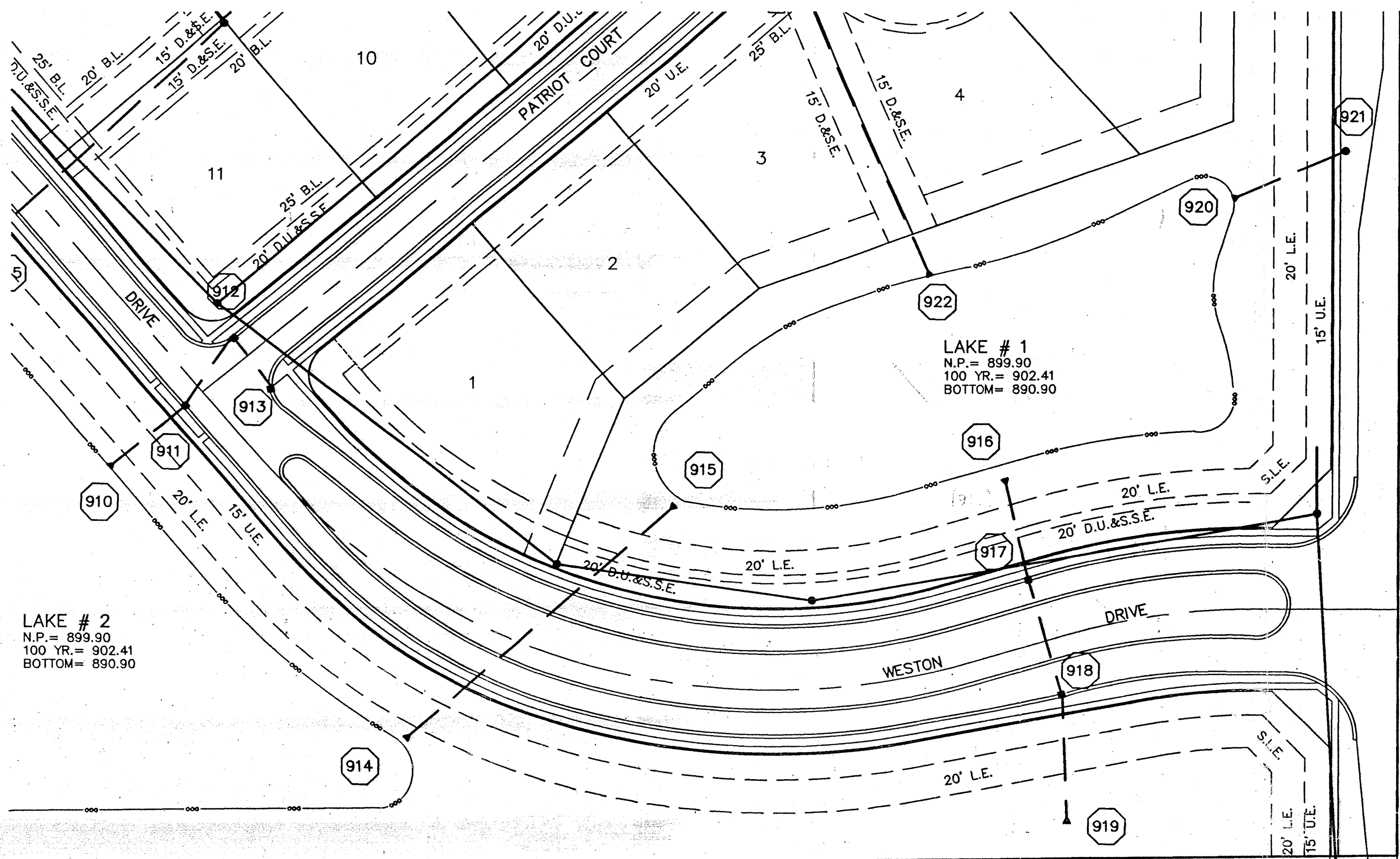


TEMPORARY CHANNELS TO BE CONSTRUCTED WITH SECTION 1

LAKE # 2
 N.P. = 899.90
 100' D.E. = 902.41
 BOTTOM = 890.90

COMMON AREA #6
 3.245 ACRES +/-
 VAR. L & D.

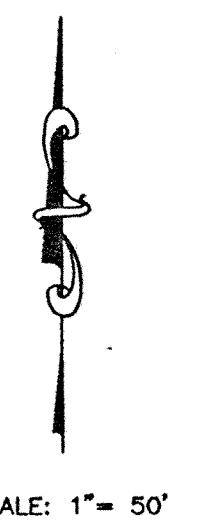
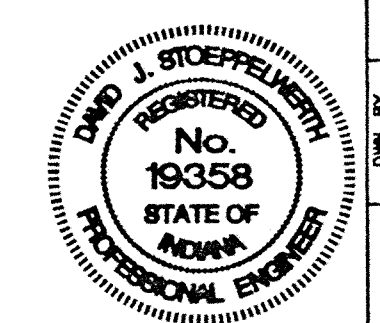
NOTE: GUARD TO BE INSTALLED



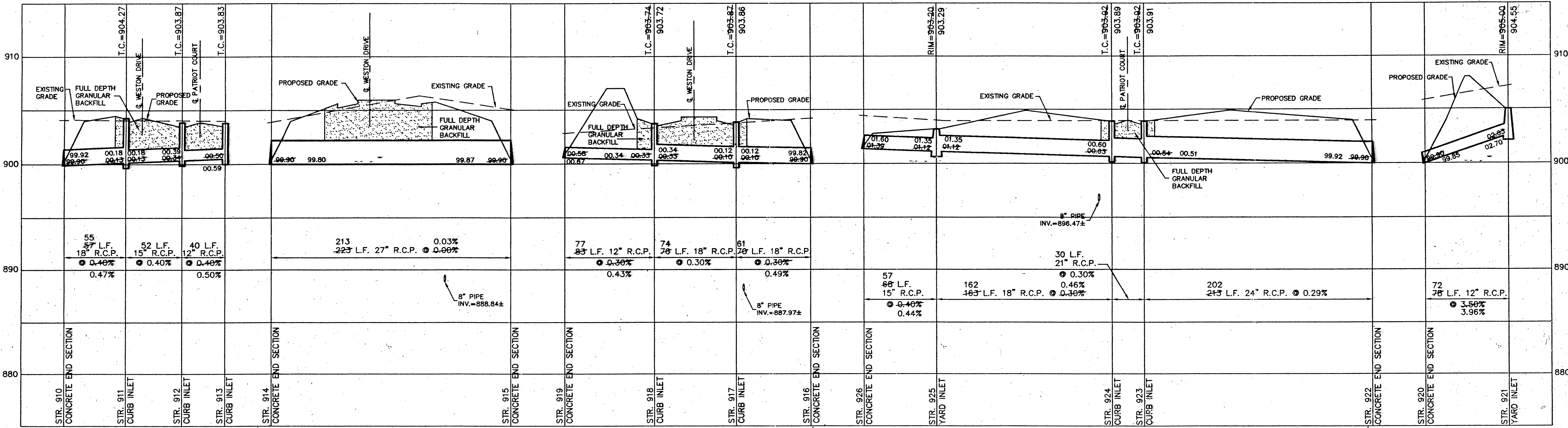
RECORD DRAWING

DAVID J. STOEPPELWERTH
 Registered Land Surveyor
 No. S0474
 DATE 12/16/96

Hamilton County, Indiana
 This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
 Entry Date: 12-2-03
 Entered by: J09



SCALE: 1" = 50' HOR.
 1" = 5' VERT.



CONSULTING ENGINEERS - LAND SURVEYORS
 (317) 849-5935 1-800-726-6917 FAX: (317) 849-5942
 INDIANAPOLIS INDIANA

REGISTERED LAND SURVEYOR
 No. S0474
 STATE OF INDIANA

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

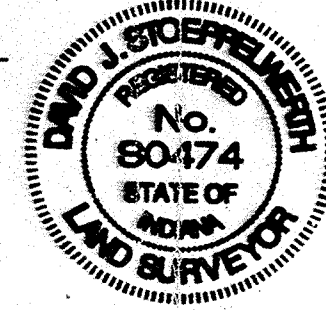
STORM SEWER PLAN & PROFILE
 WESTON RIDGE SECTION 1
 SHEET NO. 15
 OF 21 SHEETS
 JOB NO. 195840

DATE	BY	REVISIONS
5/22/95	DAVID J. STOEPPELWERTH	DATE
7/23/95	DAVID J. STOEPPELWERTH	DATE
8/27/96	DAVID J. STOEPPELWERTH	DATE

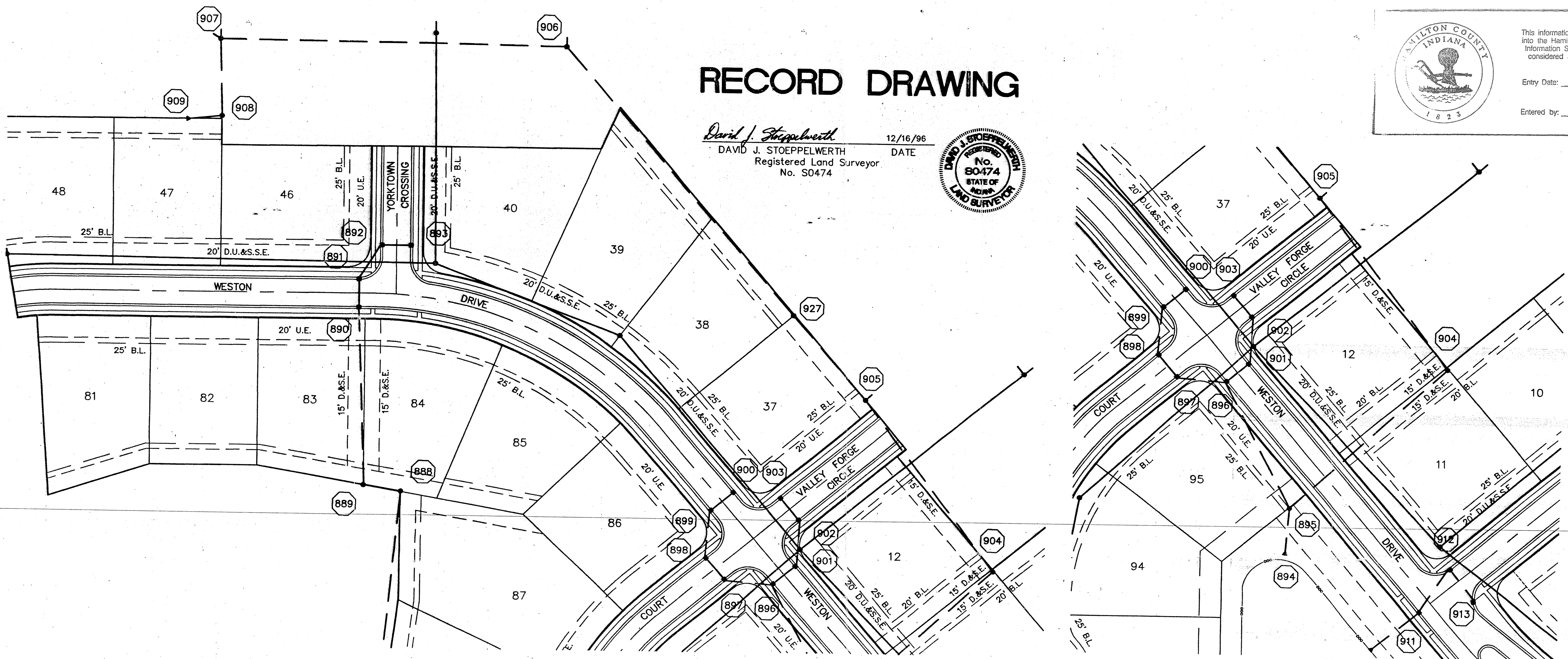
RECORD DRAWING

David J. Stoepelwerth
 DAVID J. STOEPPELWERTH
 Registered Land Surveyor
 No. S0474

12/16/96
 DATE

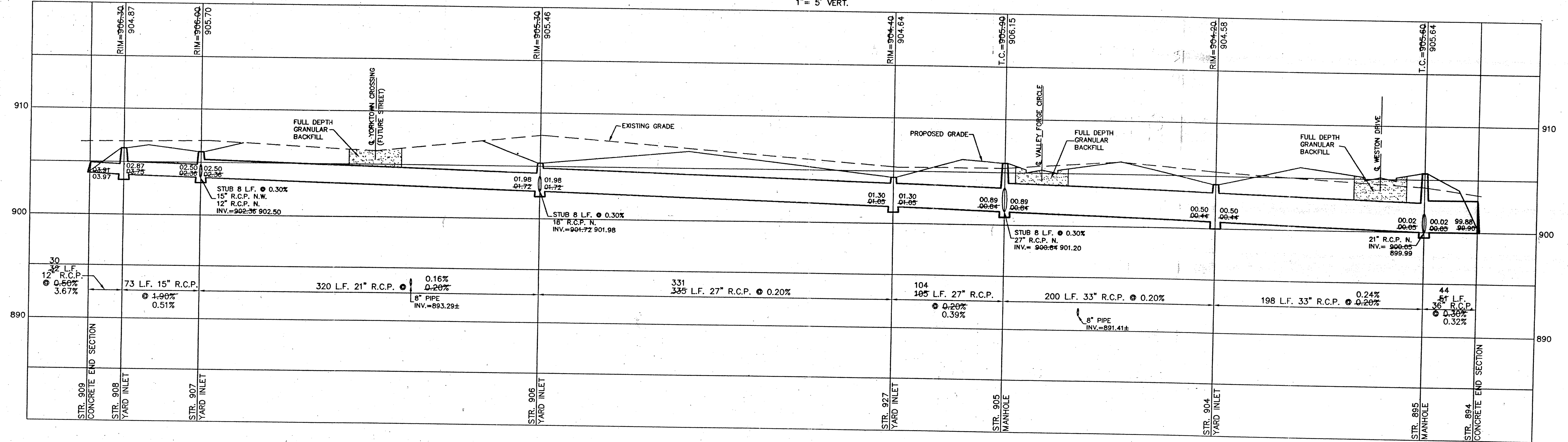


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 Entry Date: 12-2-03
 Entered by: JDH



SCALE: 1" = 50'

SCALE: 1" = 50' HOR.
 1" = 5' VERT.



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 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942
 INDIANAPOLIS INDIANA

STORM SEWER PLAN & PROFILE
 WESTON RIDGE SECTION 1
 CARMEL INDIANA

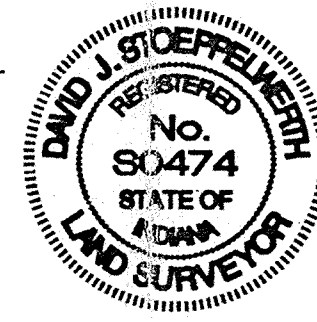
SHEET NO. 16
 OF 21 SHEETS
 JOB NO. 19584D

REV.	DATE	BY	REVISIONS
1	12/16/96	JDH	ISSUED FOR CONSTRUCTION

RECORD DRAWING

David J. Stoepelwerth
 DAVID J. STOEPPELWERTH
 Registered Land Surveyor
 No. S0474

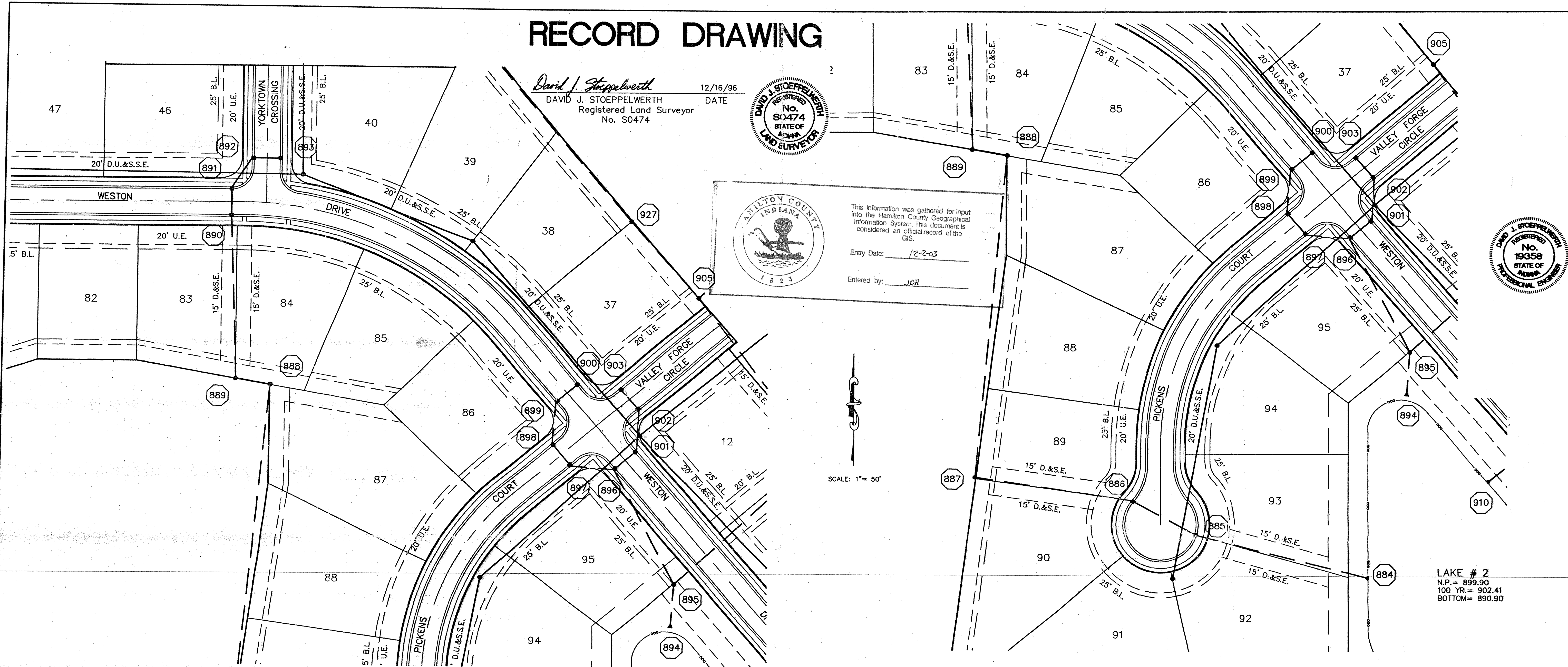
12/16/96
 DATE



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

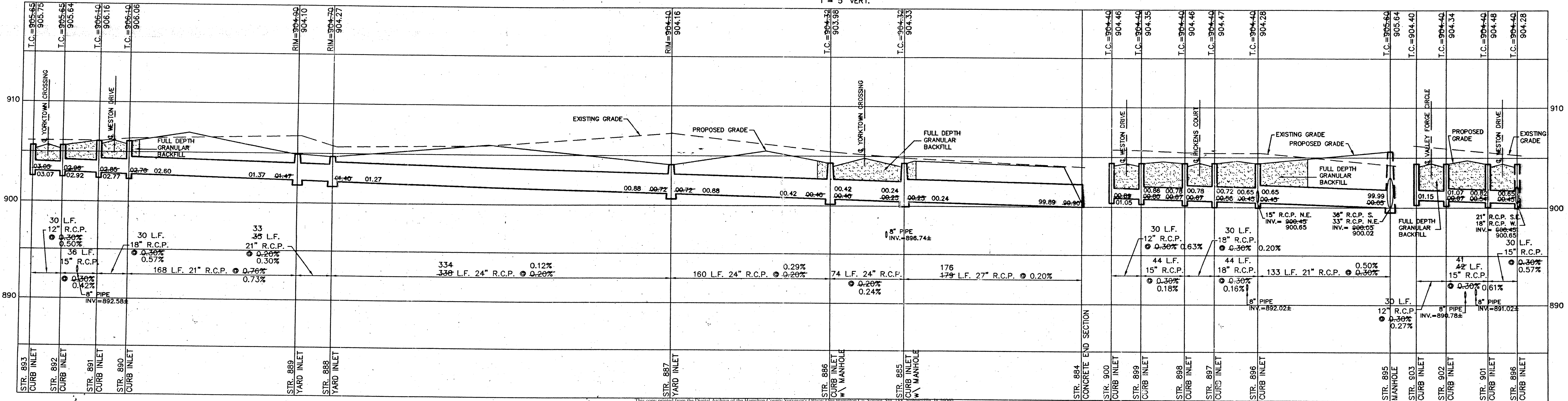
Entry Date: 12-2-03
 Entered by: JPH

SCALE: 1" = 50'



LAKE # 2
 N.P. = 899.90
 100 YR. = 902.41
 BOTTOM = 890.90

SCALE: 1" = 50' HOR.
 1" = 5' VERT.



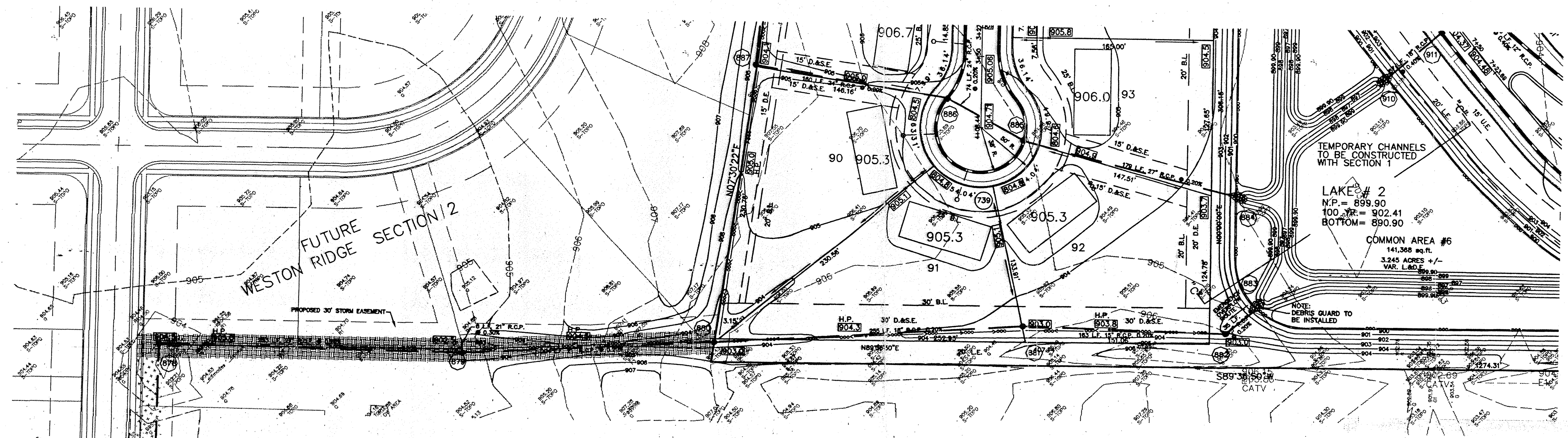
CONSULTING ENGINEERS - LAND SURVEYORS
 (317) 849-5935 - 800-722-6917 FAX: (317) 849-5942
 INDIANAPOLIS INDIANA

STORM SEWER PLAN & PROFILE
 WESTON RIDGE SECTION 1
 CARMEL INDIANA

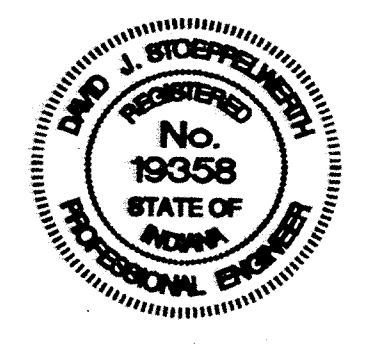
SHEET NO. 17
 OF 21 SHEETS
 JOB NO. 19584D

DATE: 5/22/95

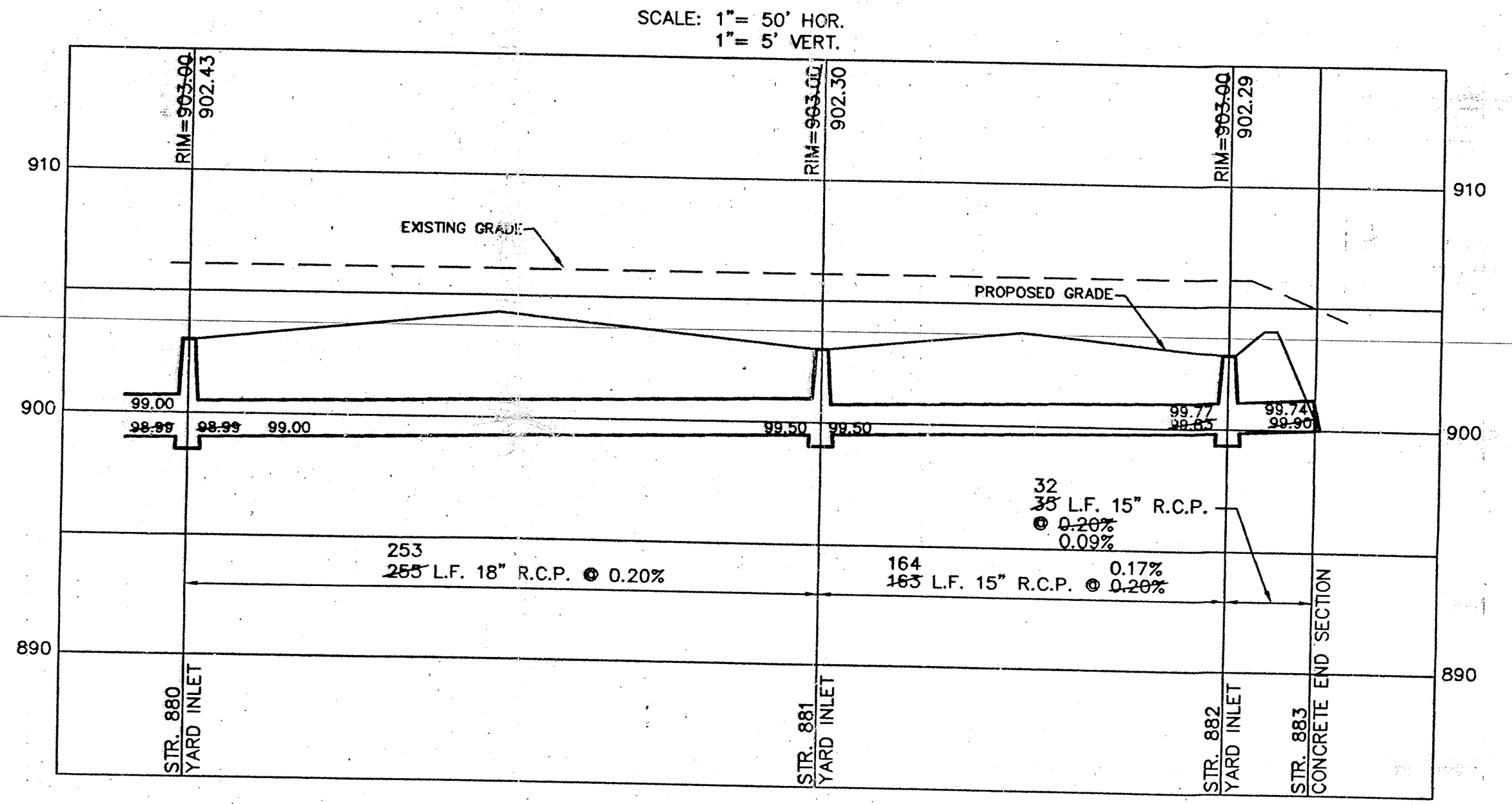
REVISIONS:



SCALE: 1" = 50'



NOTE:
FOR EROSION CONTROL MEASURES
AND SPECIFICATIONS SEE SHT. #3



SCALE: 1" = 50' HOR.
1" = 5' VERT.

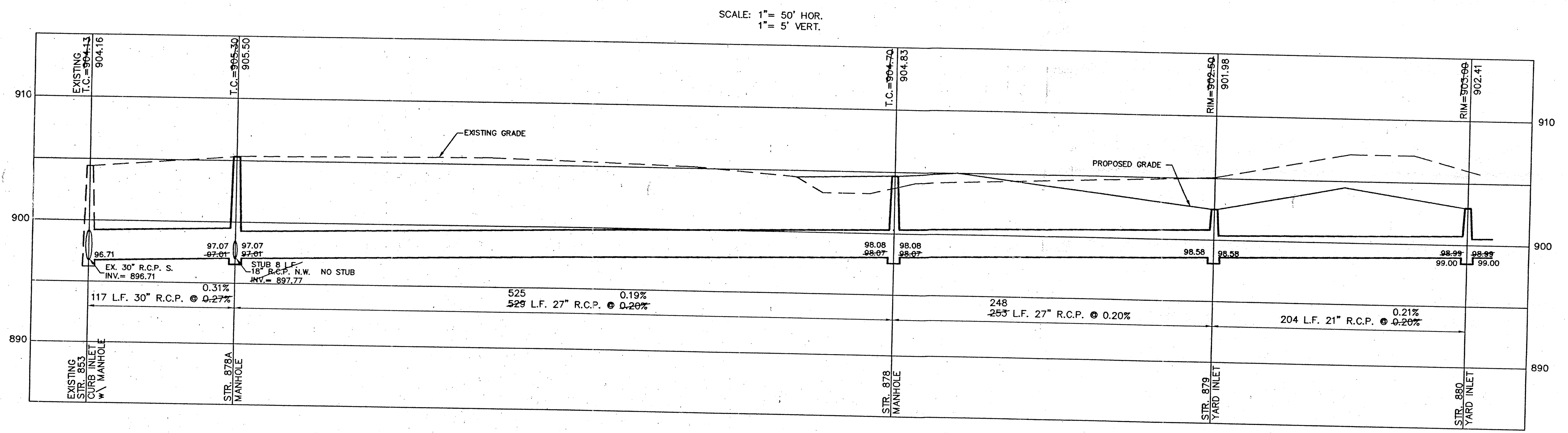
RECORD DRAWING

David J. Stoepfelwerth 12/16/96
DAVID J. STOEPELWERTH DATE
Registered Land Surveyor
No. S0474



This information was gathered for input into the Hamilton County Geographical Information System. Its accuracy is considered an approximation of the G.I.S.
Entry Date: 12-2-03
Entered by: JQH

FUTURE WESTON RIDGE SECTION 2
THE PARK @ WESTON PLACE SECTION 2
EXISTING THE PARK @ WESTON PLACE SECTION 1



SCALE: 1" = 50' HOR.
1" = 5' VERT.

CERTIFIED: David J. Stoepfelwerth

CONSULTING ENGINEERS - LAND SURVEYORS
(317) 849-5935 1-800-728-8917 FAX: (317) 849-5942
INDIANAPOLIS INDIANA

STORM SEWER PLAN & PROFILE
WESTON RIDGE SECTION 1
CARMEL INDIANA

SHEET NO. 18
21 SHEETS
JOB NO. 19584D